

Attachment 3

Alternative Use assessment

Alternative use seismic advice - Beca



**Structural Notes**

Refer to separate drawing 5920191-SK02 & SK03 for seismic strengthening scope which will be required.

The markups on this drawing depict structural scope additional to the seismic strengthening.

For (E) walls demolished refer SE-K004.

Provide (N) ceiling diaphragms **throughout** comprising 16mm ply on timber framing. Line underside with GIB as required for finish.

Allow for new compliant building services, including electrical, drainage, etc.

Allow to upgrade existing stormwater and connections. New exterior pavement, planters, etc.

Allow for make-good, access, temporary works, etc.

PLEASE PRINT IN COLOUR



JOB TITLE: BLOCK PLANT  
SKETCH TITLE: STRUCTURAL ALTERATIONS - OFFICES (67%NBS)

DATE:	3.04.2020	JOB No.:	5923514
SCALE:	N.T.S.	SKETCH No.:	SE-K003
DRAWN:	-	REV:	A
VERIFIED:	ASB	APPROVED:	ASB
REASON FOR ISSUE:		FEASIBILITY	
SOURCE OF BACKGROUND: WALKER ARCH CONCEPT			

Demolish (E) elevated slab, lower slabs, walls and heavy RC hopper walls including adjoining exterior wall to north where indicated. (N) exterior wall and wall to support beam with (N) strip foundations and slab.

Infill (E) openings

Locally demolish (E) wall to excavate and install footing for (N) steel post under steel beam (this beam supports heavy masonry wall to upper storey).

1 Ground Floor - Proposed  
1 : 200

At each new exterior window where wall is noted as demolished on SE-K004 temporarily prop roof, form (N) masonry walls with footings to ends and RC lintel beam over window.

(N) short cantilevered retaining wall in reinforced masonry on an RC strip footing. Allow for field drain behind.

Remove (E) generator plinth and overhead lifting beam

Demolish (E) internal and exterior walls. (N) exterior walls and inter-office wall on (N) strip footings.

**Risk Notes**

A render may be required to all exterior walls to hide unsightly interfaces between new, old and existing irregularities.

Water-tightness and insulation properties of exterior walls may require further treatment.

Eaves and soffit framing support required.

Insulate roof.

Allow for localised spot repair of aged roof timbers (est. 10%)

Allow for levelling screed to existing slab in all areas (insulation under?)

2 Upper Level - Proposed  
1 : 200

Infill (E) openings

New compliant barrier and re-build stair

Fire rate soffit with GIB linings (30mins)

(E) four posts to remain. Fire rate with coating or box out

At each new large exterior window form using (N) masonry walls with footings to ends and RC lintel beam over.



**Denotes (N) Window Penetration**

Procedure: Install props and core for needles to provide temporary support. Over-cut 200 on sides & bottom, 600 to top. Form (N) 600 RC lintel. Form (N) cill and sides using fitted/matched part-blocks and reinforce. Break into surrounding masonry in three locations on each side and install hooked rebar "dowels". Grout fill entire assembly.

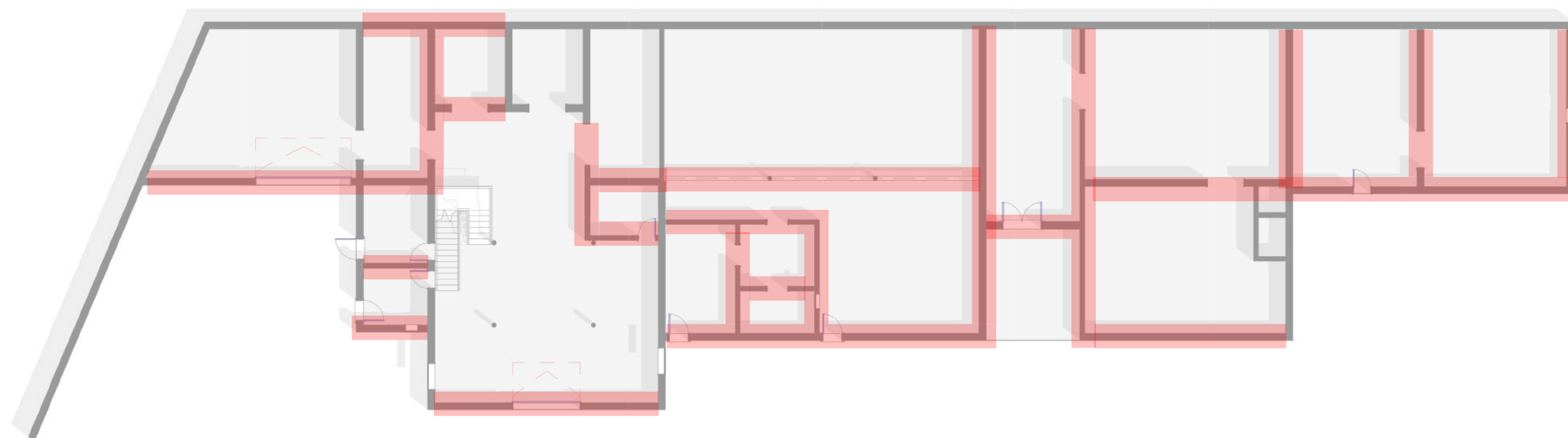
--- Denotes (N) Steel Beam

<p>Auckland Office 30 Decklands Lane, Auckland Central, Auckland 1010 PO Box 6219 Wellesley Street Auckland, New Zealand P: 64 9 375 1000 E: auckland@walkerarchitects.co.nz W: www.walkercommunityarchitects.com</p> <p>walkercommunityarchitects ltd.</p>	<p>* Reproduction of the whole or part of the document constitutes an infringement of copyright. * The information, ideas and concepts contained in this document are confidential. * The recipient(s) of this document is/are prohibited from disclosing such information, ideas and concepts to any person without the prior written consent of the copyright holder. * All dimensions are in millimeters unless otherwise shown. * Work to figured dimensions do not scale from drawings. * Check all dimensions on site prior to construction. * Report any discrepancies to the project architect(s) administering the contract. * This drawing is to be read in conjunction with all contract documents.</p>	<table border="1"> <tr> <th>Date</th> <th>Issue</th> <th>Rev</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	Date	Issue	Rev			
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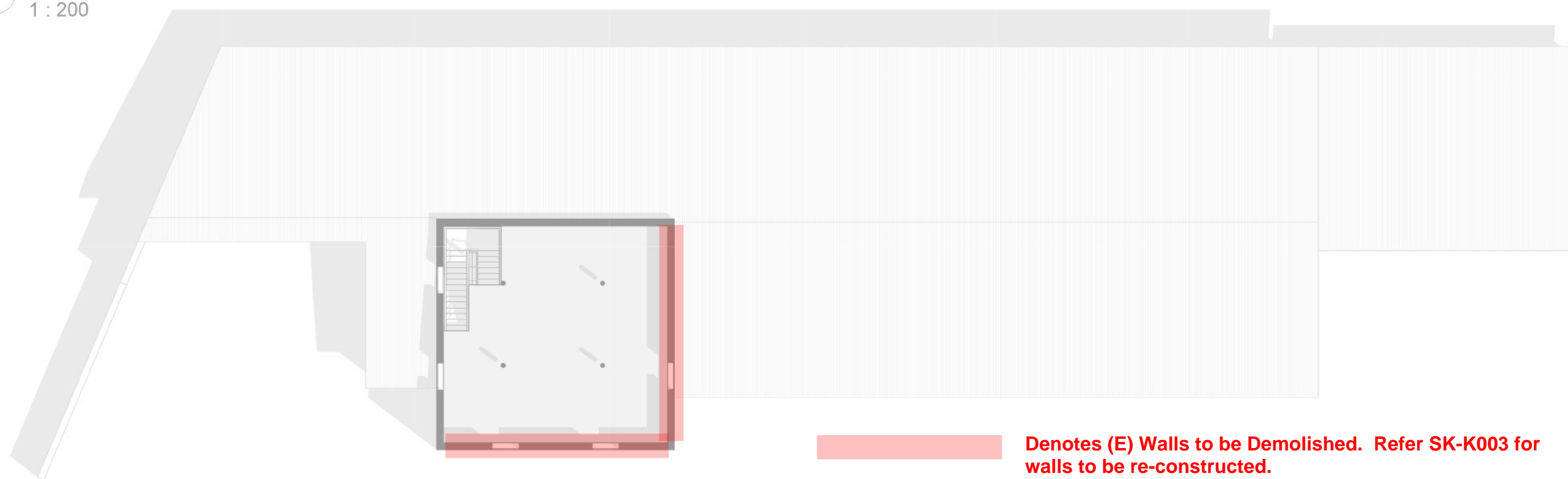
Project Name :  
**TEMPLE VIEW BLOCK PLANT**

Client :  
THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS  
Location :

Drawing Title  
**Floorplans - Proposed**  
Project Status  
**Preliminary Design**  
Scale @ A3  
1 : 200



1 Ground Floor - Existing  
 1 : 200



2 Upper Level - Existing  
 1 : 200

**Denotes (E) Walls to be Demolished. Refer SK-K003 for walls to be re-constructed.**

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JOB TITLE: BLOCK PLANT  
 SKETCH TITLE: STRUCTURAL ALTERATIONS - OFFICES (100%NBS)

DATE: 3.04.2020 JOB No.: 5923514

SCALE: N.T.S. SKETCH No.: SE-K004

DRAWN: - REV: A

VERIFIED: ASB APPROVED: ASB

REASON FOR ISSUE: FEASIBILITY

SOURCE OF BACKGROUND: WALKER ARCH CONCEPT

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Date	Issue	Rev

Project Name :  
**TEMPLE VIEW BLOCK PLANT**

Client :  
 THE CHURCH OF  
**JESUS CHRIST**  
 OF LATTER-DAY SAINTS  
 Location :

Drawing Title  
**Floorplans - Existing**  
 Project Status  
**Preliminary Design**  
 Scale @ A3  
 1 : 200

Demolish (E) elevated slabs, lower slabs, walls and heavy RC hopper walls including adjoining exterior walls to north & south indicated. (N) Strip foundations, walls and Slabs.

Demolish (E) minor internal partitions, heavy central wall, part-height exterior walls to south and part-wall to east. (N) full height exterior walls and inter-apartment wall on (N) strip footings.

1 Ground Floor - Proposed  
1 : 200

**Risk Notes**

A render may be required to all exterior walls to hide unsightly interfaces between new, old and existing irregularities.

Water-tightness and insulation properties of exterior walls may require further treatment.

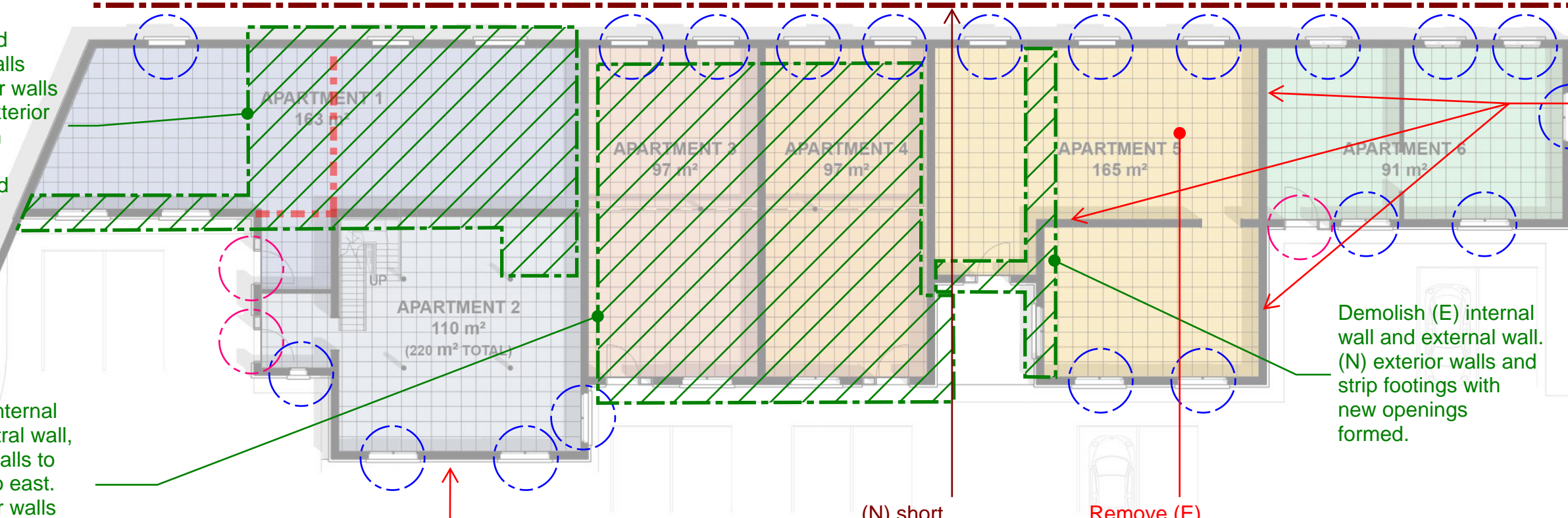
Eaves and soffit framing support required.

Insulate roof.

Allow for localised spot repair of aged roof timbers (est. 10%)

Allow for levelling screed to existing slab in all areas (insulation under?)

2 Upper Level - Proposed  
1 : 200



Infill (E) high-level openings

**Structural Notes**

Refer to separate drawing 5920191-SK02 & SK03 for seismic strengthening scope which will be required.

The markups on this drawing depict structural scope additional to the seismic strengthening.

For (E) walls demolished refer SE-K002.

Provide (N) ceiling diaphragms **throughout** comprising 16mm ply on timber framing. Line underside with GIB as required for finish.

Allow for new compliant building services, including electrical, drainage, etc.

Allow to upgrade existing stormwater and connections. New exterior pavement, planters, etc.

Allow for make-good, access, temporary works, etc.

Remove existing large door and infill opening with (N) reinforced concrete block. Drill-in starters to perimeter. (N) strip foundation under (E) door

(N) short cantilevered retaining wall in reinforced masonry on an RC strip footing. Allow for field drain behind.

Remove (E) generator plinth and overhead lifting beam

Demolish (E) internal wall and external wall. (N) exterior walls and strip footings with new openings formed.

New compliant barrier and re-build stair

Fire rate soffit with GIB linings (30mins)

(E) four posts to remain. Fire rate with coating or box out

**Denotes (N) Window or Door Penetration**

Procedure: Install props and core for needles to provide temporary support. Over-cut 200 on all sides. Form (N) lintel, cill, and sides using fitted/matched part-blocks and reinforce. Break into surrounding masonry in two locations on each side and install hooked rebar "dowels". Grout fill entire assembly.

**Denotes (N) Steel Lintel Beam**

**Denotes (N) Enlarged Door Penetration**

Procedure: As above for (N) windows.

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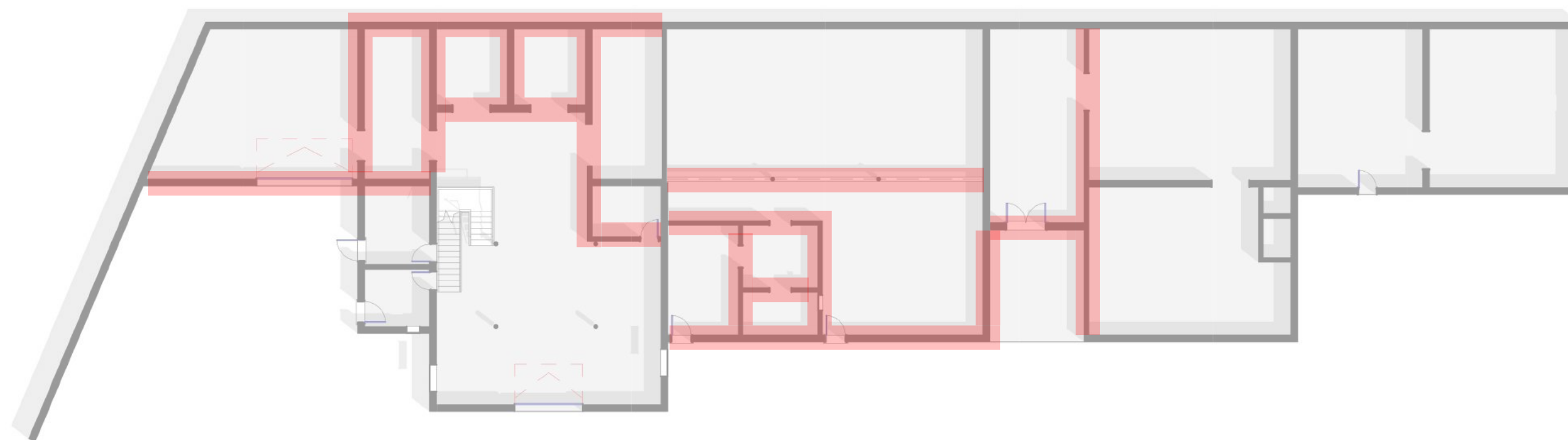


JOB TITLE: BLOCK PLANT  
SKETCH TITLE: STRUCTURAL ALTERATIONS - APARTMENTS (100%NBS)

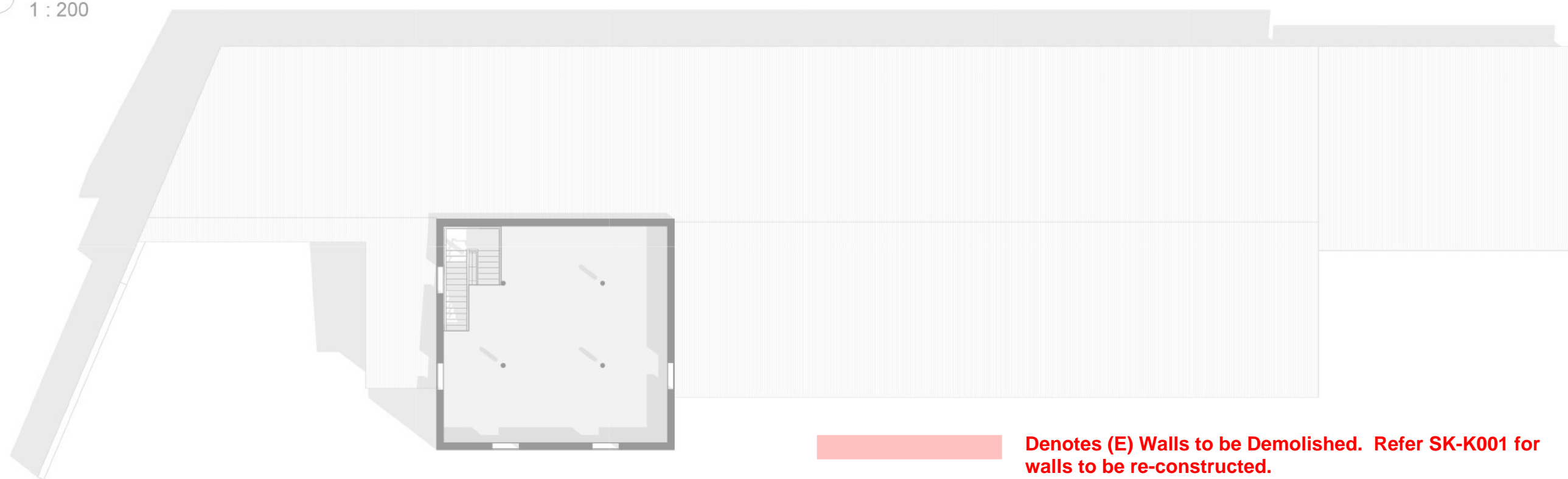
DATE: 30.04.2020	JOB No.: 5923514
SCALE: N.T.S.	SKETCH No.: SE-K001
DRAWN: -	REV: B
VERIFIED: ASB	APPROVED: ASB
REASON FOR ISSUE: FEASIBILITY	
SOURCE OF BACKGROUND: WALKER ARCH CONCEPT	

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Project Name : <b>TEMPLE VIEW BLOCK PLANT OPTION 2 - APARTMENTS</b>	Client : THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS	Drawing Title Floorplans - Proposed
Location :	Project Status Preliminary Design	Scale @ A3 1 : 200



1 Ground Floor - Existing  
 1 : 200



2 Upper Level - Existing  
 1 : 200

**Denotes (E) Walls to be Demolished. Refer SK-K001 for walls to be re-constructed.**

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JOB TITLE: BLOCK PLANT  
 SKETCH TITLE: STRUCTURAL ALTERATIONS - APARTMENTS (100%NBS)

DATE:	3.04.2020	JOB No.:	5923514
SCALE:	N.T.S.	SKETCH No.:	SE-K002
DRAWN:	-	REV:	A
VERIFIED:	ASB	APPROVED:	ASB
REASON FOR ISSUE:		FEASIBILITY	
SOURCE OF BACKGROUND: WALKER ARCH CONCEPT			

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Project Name :  
**TEMPLE VIEW BLOCK PLANT**

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**JESUS CHRIST**  
 OF LATTER-DAY SAINTS

Location :

Drawing Title  
**Floorplans - Existing**

Project Status  
**Preliminary Design**

Scale @ A3  
**1 : 200**